



SAN FRANCISCO PLANNING DEPARTMENT

Letter of Determination

July 17, 2017

Thomas J. Madill and Lizbeth R. Gordon
50 Clifford Terrace
San Francisco, CA 94117

Site Address:	60 Clifford Terrace
Assessor's Block/Lot:	2618A / 021
Zoning District:	RH-2 (Residential-House, Two Family)
Staff Contact:	Jeff Horn, (415) 575-6925 or jeffrey.horn@sfgov.org
Record No.:	2017-003421ZAD

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Dear Mr. Madill and Ms. Gordon:

This letter is in response to your request for a Letter of Determination regarding the property at 60 Clifford Terrace. This parcel is located in the RH-2 (Residential-House, Two Family) Zoning District and 40-X Height and Bulk District. The request is to determine the following: 1) would a building permit have been required to build the existing walkway at the rear the property located at 60 Clifford Terrace between 1960 and 1990; 2) would a variance have been required to build the existing walkway between 1960 and 1990; 3) does the Planning Department have any record of building permit and/or variance to build the existing walkway between 1960 and 1990; 4) under the 1960/1961 permit, would the existing walkway have been approved without a variance; and 5) if no permit or variance exists to build the current walkway, and the owners seek to legalize the current walkway, do they have to comply with the current Planning Code.

The responses to these five items are as follows:

- 1) The Planning Department is not the issuing agency for Building Permits and the Department does not maintain Building Permit records.
- 2) At the time of the City Planning Code in 1960, with amendments through the year 1962, the subject property (2618A/021) was within a Two-Family Residential (R-2) District.

Per Section 134, Rear Yards, Table 3, Minimum Depth of Rear Yard Buildings, for buildings in the R-2 District the minimum depth of the rear yard was 25 feet. Provided, that the required depth shall be reduced by one (1) foot for every four (4) feet or major fraction thereof by which the lot is less than one hundred (100) feet in depth, but in no case shall it be thus reduced to less than fifteen (15) feet. The irregular shaped subject property has an average depth of approximately 85 feet, and therefore would have had a required setback of approximately 21 feet, 4 inches under the 1960/62 Planning Code.

Section 132, Yard Requirements, subsection (a) stated, "A required rear yard shall be open and unobstructed, except as herein provided, from the ground upward." However, subsection (f) of Section 132 stated that "Fences, walls, hedges, walks, driveways or necessary retaining walls may occupy any yard area." No controls of the location or height of these features within a required rear yard was included in the Code.

Although the walkway was located within the required rear yard, there is no certainty that the interpretation at the time would have been that a Variance (as described in then-Section 302) for rear yard encroachment would have been required for the walk to have been built per the 1960/62 Planning Code.

In the 1964 Planning Code, Section 132(f), which contained the reference to "walks" was removed from the Code. Section 126, Permitted Obstructions in Lot Coverage, Required Yards and Usable Open Space was expanded to include:

- Subsection (g), a control on steps that limited the height of steps to not more than 3 feet above grade and stairways and landings to not exceed above the floor level of the adjacent first floor of occupancy and to project no more than 6 feet into the required open area for any portion that is more than 3 feet above grade, and provided that such stairways and landing shall occupy no more than 2/3 the buildable width of the lot; and
- Subsection (n), a control on decks that limited the floor of a deck (on a slope of less than 15%) to not exceed a height 3 feet above grade at any point in a required yard.

Therefore, although the walkway does not exceed the first floor of occupancy, it does exceed 3 feet in height above grade and projects more than 6 feet into the required open area, therefore the walkway would have required a Variance per the 1964 Planning Code.

In the 1969 and 1972 Code, no pertinent changes were made in regards to rear yard requirements or permitted obstructions within Sections 126, 132 or 134 and therefore the walkway would have required a Variance for rear yard encroachment per the 1969 or 1972 Planning Code.

In 1978, Citywide Residential Rezoning established more and slightly different residential districts, remapped many areas to less intense districts, established front setback requirements and new rear yard requirements. As a result, the subject property was rezoned to the Residential, House Districts, Two-Family (RH-2).

Section 134 was retitled as Rear Yards, R, C, and M Districts, and the basic rear yard requirement was increased for the Two-Family (RH-2) District to a minimum depth equal to forty-five percent (45%) of the total depth of the lot. Section 134(c)(1) allowed for the rear yard depth to be reduced to the average depths of the rear building walls of the two adjacent buildings."

Controls of permitted obstructions were moved to Section 136, Obstructions Over Streets and Alleys and In Required Set-Backs, Yards and Usable Open Space, and the subsections (g) and (n) that existed in the previous versions of the Planning Code were changed to subsections 136(c)(14) and 136(c)(24)(A). There was no substantive change to the controls of steps and decks within these sections, therefore the walkway would have required a Variance per the 1978 Planning Code.

No changes to the Planning Code in regards to rear yard requirements or permitted obstructions occurred after 1978.

- 3) A review of historic files maintained by the Planning Department found no Variances or other Planning Department applications or approvals for the subject property between 1960 and 1990. The Planning Department is not the issuing agency for Building Permits and the Department does not maintain Building Permit records. However, the two permits that are known to have been issued within this time were Permit No. 244363 in 1960 and Permit No. 8900073 in 1989, which was appealed (Appeal No. 89-144) and upheld by the Board of Appeals. Permit No. 24463 did not mention the walkway within the project description or plans. Permit No. 8900073 did not mention the walkway within the project description but the plans did include the walkway as an existing structure.
- 4) As mentioned above in Response No. 2, Section 132(f) of the 1960 Planning Code stated that "Fences, walls, hedges, walks, driveways or necessary retaining walls may occupy any yard area." However, no controls of the location or height of these features within a required rear yard is included in the Code. Therefore, there is no certainty that the interpretation at the time would be that a Variance for rear yard encroachment would have been required for the current walk to have been built per the 1960 Planning Code.
- 5) The Subject Property and the two adjacent properties, 50 Clifford Terrace (2618A/022) to the west and 66 Clifford Terrace (2618A/022) to the east, are located in the RH-2 Zoning District. In the RH-2 District, Planning Code Section 134(a)(2) provides that a property's "minimum rear yard depth shall be equal to 45 percent of the total depth of the lot on which the building is situated." Planning Code Section 134(c)(1) allows for this rear yard depth to be reduced as follows: "the forward edge of the required rear yard shall be reduced to a line on the subject lot, parallel to the rear lot line of such lot, which is an average between the depths of the rear building walls of the two adjacent buildings." Therefore, through rear yard averaging, the property at 60 Clifford Terrace has a required rear yard of approximately 21 feet. Planning Code Section 134(a)(2)(b) states that "Only those obstructions specified in Planning Code Section 136 of this Code shall be permitted in a required rear yard, and no other obstruction shall be constructed, placed or maintained within any such yard."

As provided in Planning Code Section 136(c)(24)(A) the floor of any deck shall not exceed a height of three feet above grade at any point within a required open area (rear yard) and per Planning Code Section 136(c)(14) and stairs of any type shall not exceed a height of three feet above grade at any point within a required open area (rear yard).

Thomas J. Madill and Lizbeth R. Gordon
50 Clifford Terrace
San Francisco, CA 94104

July 17, 2017
Letter of Determination
60 Clifford Terrace

The walkway at the rear of 60 Clifford Terrace is located within the 21 foot required and at a height of approximately five feet above grade. Therefore, if the walkway and any other structures greater than three feet in height require legalization under current Planning Code requirements, a Variance from Planning Code Section 134 for a rear yard encroachment would be required. Public notification of a Building Permit would be required per Section 311.

Please note that a Letter of Determination is a determination regarding the classification of uses and interpretation and applicability of the provisions of the Planning Code. This Letter of Determination is not a permit to commence any work or change occupancy. Permits from appropriate Departments must be secured before work is started or occupancy is changed.

APPEAL: If you believe this determination represents an error in interpretation of the Planning Code or abuse in discretion by the Zoning Administrator, an appeal may be filed with the Board of Appeals within 15 days of the date of this letter. For information regarding the appeals process, please contact the Board of Appeals located at 1650 Mission Street, Room 304, San Francisco, or call (415) 575-6880.

Sincerely,



Scott F. Sanchez
Zoning Administrator

cc: Jeff Horn, Planner
Property Owner – 60 Clifford Terrace
Applicant (Thomas J. Madill and Lizbeth R. Gordon)
Neighborhood Groups
BBN Requestor (if any)

Thomas J. Madill & Lizbeth R. Gordon
50 Clifford Terrace
San Francisco, CA 94117
(415) 505-9468 / liz@lizbethgordon.com

March 16, 2017

Scott F. Sanchez, Zoning Administrator
c/o: San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

R # 2017 - 003421ZAD
CK # 2540 \$ 664. -
D. WASHINGTON (SV)

Re: **Subject Address:** **60 Clifford Terrace**
 Assessor's Block / Lot: **2618 A / 021**
 Zoning District: **RH-2**

Dear Mr. Sanchez:

REQUEST

We own 50 Clifford Terrace (50 CT), immediately adjacent to the east of 60 Clifford Terrace (60 CT).

We respectfully request a Letter of Determination (LOD) relating to the legality of an elevated walkway in the rear yard of 60 CT. That walkway is parallel to and at 60 CT's eastern property line (PL), or 50 CT's western PL, and connects the back of the 2nd floor of 60 CT's main house (Lot 21) to 60 CT's roof deck above a rear garage on a separate lot (Lot 31). The walkway landing is approximately 5' above grade, about 18' long, and is over 3' wide. The walkway has no fire-rated construction, and is open support with an unrated guard. The walkway is believed to have been built sometime between approximately 1961 and 1989.

BACKGROUND

The owners of 60 CT (Owners) have a proposed project pending with the Planning Department (Planning), Application No. 2014-04-30-4544, which consists of 4th story vertical- and side yard horizontal-additions, as well as interior remodel ("Underlying Project").

On 7/1/15, we filed a Discretionary Review Application, which Application was amended on 9/2/15. Therein, we advised Planning that the walkway and roof deck were unpermitted, and as such, illegal. Planning subsequently advised us that, absent a determination by the Building Inspection Department (DBI) to that effect (illegality), a Planning Commission hearing would proceed on the Underlying Project.

On 3/1/16, DBI issued a Notice of Violation (NOV) as it concerns the walkway (Lot 21). The DBI then-senior inspector who issued that NOV was Donal Duffy.

On or about 5/12/16, in response to the DBI NOV, Owners applied for a Variance from the Planning Code (Application No. 2015-000-737-VAR) with respect to the existing walkway

(Lot 21), as well as garage roof deck (Lot 31) and stairs (Lot 21) that service both the walkway and roof deck (Variance Application).

On or about 9/30/16, Owners submitted to Planning two proposed site plans (Options A and B), in furtherance of their Variance Application. Both options proposed removing the walkway at the eastern PL, but retaining the roof deck on the back garage. Option A proposed to build a new and 2nd deck some 4'-5.25" from the eastern PL. Option B proposed to build a new and 2nd deck (some 4'-5.25" in from the eastern PL) at the back of the main house (this was a suggestion we made to Planning and Owners in 2015, premised on the removal of the current walkway and back garage roof deck, both of which very significantly violate our privacy and quiet enjoyment, and that of other neighbors). Planning's Residential Design Team reviewed Owners' proposed options and supported Option B, but with the direction that one of the two decks (either the existing rear garage roof deck on Lot 31, or the proposed new and 2nd deck at the back of the main home on Lot 21), be eliminated from the project scope.

About 10/25/16, Owners, seemingly not agreeable to the direction of the RDT, requested that the Planning Commission hearing then scheduled for 11/17/16 be taken off calendar.

On or about 12/5/16, Owners' representative visited DBI in an effort to challenge the NOV (concerning the walkway); and, on 1/18/17, Owners' representative succeeded in having the then-new senior DBI inspector Mauricio Hernandez overrule Donal Duffy with respect to the NOV.

On 2/7/17, Planning planner Jeff Horn advised us that DBI had abated the NOV, and as such, Planning was looking to reschedule a Planning Commission hearing on the Underlying Project.

On 3/3/17, a meeting took place, which we requested, in an effort to reconcile the inconsistency that existed in DBI's (Donal Duffy's) issuance of an NOV as to the walkway, and then DBI's (Mauricio Hernandez) abatement of that NOV. At that time, Donal Duffy stood by his issuance of the NOV (and the research and site visit he did prior to that issuance), while Mauricio Hernandez took the positions that there might have been a lost building permit, and the legality of the walkway was an issue for Planning – not DBI. Chief Building Inspector Patrick O'Riordan decided at that time to reactivate the NOV and requested that we next pursue the legality of the walkway with Planning (as we had already sought to do with Planning in 2015 to no avail; see above). Specifically, O'Riordan directed us to pose the question to Planning of whether the Planning Code from 1960 to 1990 would have even allowed the elevated walkway in the rear yard.

As a result, we are hereby filing a Complaint and this request for a LOD with Planning.

If consideration of the Underlying Project goes forward to the Planning Commission, with or without the Variance Application, and is approved, it could arguably legalize the current walkway with the issuance of a Certificate of Final Completion (CFC). As such, we again respectfully request that the legality of the walkway be resolved, prior to any new construction, including a Planning Commission hearing.

Permit Application No. 244336, filed on 12/29/60, issued on 1/24/61, and completed on 4/27/61, concerned a "room & bath addition to rear of dwelling", and then detailed two rooms and an "uncovered deck area on post & pier" – all "as per drawings" (1960/1961 Permit). The drawings show only an uncovered deck area on post & pier starting at the back of the then- (and

still-) current kitchen and family room on the 2nd floor of the home and continuing only to the back of the then- (and still-) current family room of the main house. That deck/walkway was not and is not the deck/walkway that is there today and reaches across Lot 21 and to the back garage roof deck on Lot 31 (with stairs to the roof deck on Lot 21).

Permit Application No. 8900073, filed on 1/3/89, issued on 6/21/89, and completed on 3/7/90, was for a "horizontal addition – addition of master bedroom above the existing family room" and conversion of the existing bedroom to a master bath. The related plans show the current walkway and current back garage roof deck as having existed as of 1989/1990. No CFC was issued in connection with this permit.

QUESTIONS FOR LETTER OF DETERMINATION

1. Would a building permit have been required to build the current walkway between 1960 and 1990?
2. Would a variance have been required to build the current walkway between 1960 and 1990?
3. Does the Planning Department have any record of building permit and/or variance to build the current walkway between 1960 and 1990?
4. Under the 1960/1961 permit, would this current walkway have been approved without a variance?
5. If no permit or variance exists to build the current walkway, and Owners seek to legalize the current walkway, do they have to comply with the current Planning Code?


DIRECTLY RELEVANT SUPPORTING DOCUMENTATION

While there are many documents that could be provided at this time, given the background of this matter, we are attaching just those that we believe you will find most pertinent to the questions posed for the requested LOD – namely:

- A. Report of Residential Building Record (3R) dated 5/31/12 (Exhibit A).
- B. 1960/1961 Permit No. 244336, with drawings (Exhibit B).
- C. 1989/1990 Permit No. 8900073, with drawings (Exhibit C).
- D. Photo of Walkway as of 3/14/17 (Exhibit D).

Thank you, in advance, for your analysis and determination in this matter.

Very truly yours,


Thomas J. Madill
Lizbeth R. Gordon

Enclosures (as described above)



Report of Residential Building Record (3R)
(Housing Code Section 351(a))

BEWARE: This report describes the current legal use of this property as compiled from records of City Departments. There has been no physical examination of the property itself. This record contains no history of any plumbing or electrical permits. The report makes no representation that the property is in compliance with the law. Any occupancy or use of the property other than that listed as authorized in this report may be illegal and subject to removal or abatement, and should be reviewed with the Planning Department and the Department of Building Inspection. Errors or omissions in this report shall not bind or stop the City from enforcing any and all building and zoning codes against the seller, buyer and any subsequent owner. The preparation or delivery of this report shall not impose any liability on the City for any errors or omissions contained in said report, nor shall the City bear any liability not otherwise imposed by law.

Address of Building 60 CLIFFORD TE

COPY Block 2618A Lot 021

Other Addresses

1. A. Present authorized Occupancy or use: ONE FAMILY DWELLING
 B. Is this building classified as a residential condominium? Yes No ✓
 C. Does this building contain any Residential Hotel Guest Rooms as defined in Chap. 41, S.F. Admin. Code? Yes No ✓
 2. Zoning district in which located: RII-2 3. Building Code Occupancy Classification: R-3
 4. Do Records of the Planning Department reveal an expiration date for any non-conforming use of this property? Yes No ✓
 If Yes, what date? The zoning for this property may have changed. Call Planning Department, (415) 558-6377, for the current status.

5. Building Construction Date (Completed Date): UNKNOWN
 6. Original Occupancy or Use: UNKNOWN
 7. Construction, conversion or alteration permits issued, if any:

3R REPORT EXPIRED

Application #	Permit #	Issue Date	Type of Work Done	Status
244515	218600	Jan 10, 1961	ALTER KITCHEN - NEW CABINETS AND COUNTER TOP	C
244336	218992	Jan 24, 1961	ROOM & BATH ADDITION TO REAR OF DWELLING	C
419362	374989	Mar 15, 1973	SIDEWALL PORTIONS WITH SHINGLES. NO STRUCTURAL WORK	C
419874	375313	Mar 26, 1973	INSTALL 2 ALUMINUM WINDOWS IN FRONT ELEVATION IN EXISTING FRAME	C
366935	329481	Feb 27, 1989	CONVERT EXISTING BATH & CLOSET TO TWO BATH ROOMS	C
8900073	616595	Jun 21, 1989	HORIZONTAL ADDITION - ADD MASTER BEDROOM ABOVE EXISTING FAMILY ROOM, CONVERT EXISTING BEDROOM TO MASTER BATH	C
8919704	625318	Oct 16, 1989	RE-ROOFING	C
9912659	882153	Jun 24, 1999	RE-ROOFING	X
9924234	899248	Jan 11, 2000	UPGRADE TO NEW WORK & MECHANICAL/ELECTRICAL RELOCATION	X
200701101382	1108682	Jan 10, 2007	ITEM IA, 3A, 3B, 3C, 5A, 5B, 5C & 5D PER LINGRUEN ASSOC REPORT #48843 & 48843-51 (NON STRUCTURAL WORK)	C

8. A. Is there an active Franchise Tax Board Referral on file? Yes No ✓
 B. Is this property currently under abatement proceedings for code violations? Yes No ✓
 9. Number of residential structures on property? 1
 10. A. Has an energy inspection been completed? Yes No ✓ B. If yes, has a proof of compliance been issued? Yes No ✓

Records Management Division
1660 Mission Street - San Francisco CA 94103
Office (415) 558-5080 - FAX (415) 558-6402 - www.sfgov.org/dbi

EXHIBIT "A"

Address of Building 69 CLIFFORD TE

Block 2675A Lot 021

Other Addresses

COPY

Date of Issuance: 31 MAY 2012

Date of Expiration: 31 MAY 2013

By: MAGGIE HE

Report No: 201205091594

Patty Herrera, Manager, Records Management Division

Pamela J. Levin

Pamela J. Levin, Deputy Director
Department of Building Inspection

THIS REPORT IS VALID FOR ONE YEAR ONLY.

The law requires that, prior to the consummation of the sale or exchange of this property, the seller must deliver this report to the buyer and the buyer must sign it.

(For Explanation of terminology, see attached)

3R REPORT
EXPIRED

ORIGINAL COPY

DEPARTMENT OF BUILDING INSPECTION

CENTRAL PERMIT BUREAU FORM

Write in Ink - File Two Copies

CITY AND COUNTY OF SAN FRANCISCO

DEPARTMENT OF PUBLIC WORKS BLDG. FORM

RECEIVED

DEPT. OF PUBLIC WORKS CENTRAL PERMIT BUREAU REC'D DEC 29 PM 1:34

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS BUILDING INSPECTION

3

Application is hereby made to the Department of Public Works of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

- (1) Location # 60 CLIFFORD TERRACE
- (2) Total Cost \$ 3750.00 (3) No. of stories 2 (4) Basement YES Yes or No
- (5) Present use of building Dwell (6) No. of families 1
- (7) Proposed use of building Dwell (8) No. of families 1
- (9) Type of construction SN (10) 18.2 Building Code Occupancy Classification
- (11) Any other building on lot No (Must be shown on plot plan if answer is Yes.)
- (12) Does this alteration create an additional floor of occupancy No Yes or No
- (13) Does this alteration create an additional story to the building No Yes or No
- (14) Electrical work to be performed YES Plumbing work to be performed YES Yes or No
- (15) Ground floor area of building 100 sq. ft. (16) Height of building 25 ft. Yes or No
- (17) Detailed description of work to be done

Room of Bath Addition to Rear of Residence
250 S.F. of Room on post of pier construction -
65 S.F. of Room on continuous foundation -
165 S.F. of uncovered deck area on post of pier.

As per documents

(18) No portion of building or structure or scaffolding used during construction, to be closer than 6'0" to any wire containing more than 750 volts. See Sec. 385, California Penal Code.

(19) Supervision of construction by _____ Address _____

(20) General contractor Maya & Jensen California License No. 177641
Address 101 Williams Ave

(21) Architect _____ California Certificate No. _____
Address _____

(22) Engineer _____ California Certificate No. _____
Address _____

(23) I hereby certify and agree that if a permit is issued for the construction described in this application, all the provisions of the permit and all laws and ordinances applicable thereto will be complied with. I further agree to save San Francisco and its officials and employees harmless from all costs and damages which may accrue from use or occupancy of the sidewalk, street or sidewalk space or from anything else in connection with the work included in the permit. The foregoing covenant shall be binding upon the owner of said property, the applicant, their heirs, successors and assigns.

(24) Owner T. J. SCHLAGETER (Phone 441-0213)
Address # 60 CLIFFORD TERRACE (If Contact by Bureau)

By [Signature] Address 101 Williams Ave
Owner's Authorized Agent to be Owner's Authorized Architect, Engineer or General Contractor.

PERMIT OF OCCUPANCY MUST BE OBTAINED ON COMPLETION OF HOTEL OR APARTMENT HOUSE PURSUANT TO SEC. 308 SAN FRANCISCO BUILDING CODE

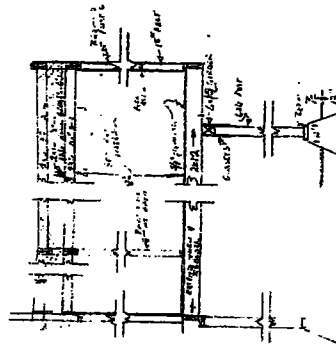
EXHIBIT "B"

CALIFORNIA TERRACE

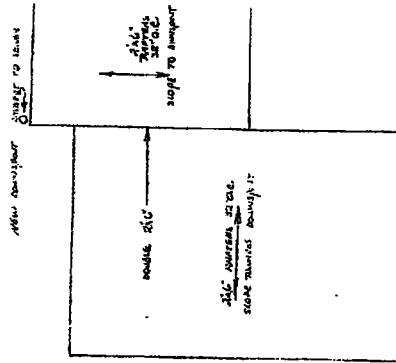


21' x 12' area with 24" high wall
65% min. area
35'-0"
SOME LOT REVENUE

AREA ABOVE

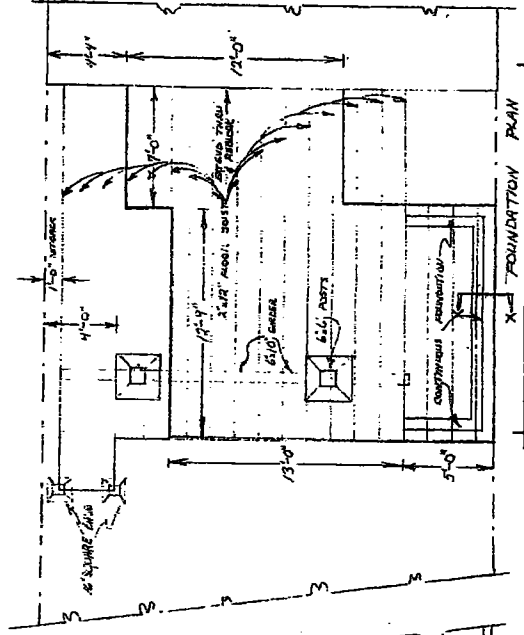


CANTINA SECTION



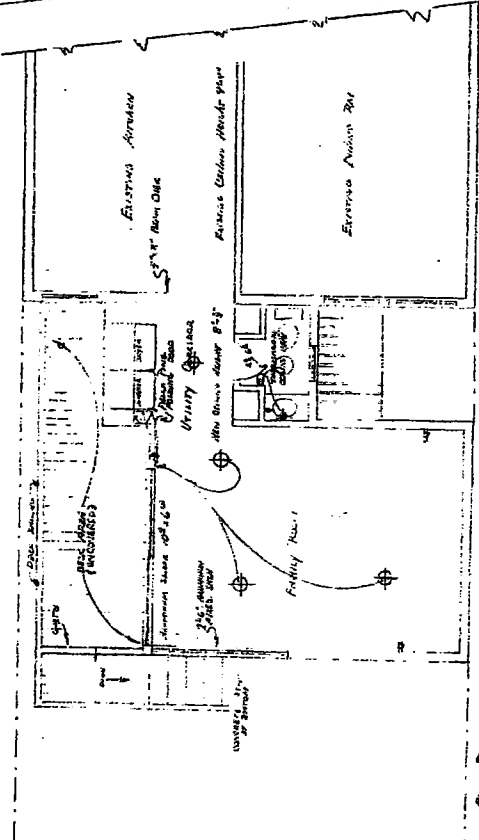
ROOF PLAN

SECTION X-X
SCALE 1/4"=1'-0"



FOUNDATION PLAN

PROPOSED ROOM ADJACENT FOR
MR. & MRS. T. J. SCHLAGETER
160 CALIFORNIA TERRACE
SCALE 1/4"=1'-0"



ROOM & DECK PLAN

244336-1

OFFICIAL COPY



OWNER: **T. J. Schlegel**
 ADDRESS: **60 Clifford Terrace**
 CITY: **San Francisco**
 ZIP: **94134**

DATE APPLIED FOR: **12/29/60**

PERMITS:

	2
	1
	2

APPLICANT: **Harla A. Jenson**
 ADDRESS: **101 Williams Ave.**

DATE: **DEC 29 1960**

DEPARTMENT OF BUILDING INSPECTION
 CENTRAL PERMIT BUREAU

BY: **T. J. Schlegel**
 ADDRESS: **60 Clifford Terrace**
 CITY: **San Francisco**
 ZIP: **94134**

OFFICIAL COPY

SAN FRANCISCO
D. I. B.
DEPARTMENT OF
BUILDING INSPECTION

BUILDING NUMBER ONE - FRONT

Basin + bath
in plan with plans

1/31/41
4/10/41

4/10/41

Fraser

Alfred C. Blair

1000 GTE DISTRICT

WORK COMPLETED CERTIFICATE OF FINAL
COMPLETION TESTED

J. A. Blair

DEPARTMENT OF PUBLIC WORKS - BUREAU OF BUILDING INSPECTION
CITY AND COUNTY OF SAN FRANCISCO

OFFICIAL COPY

FRANCISCO
DEPARTMENT OF
BUILDING INSPECTION

CONDITIONS AND STIPULATIONS

APPROVED

DATE
REASON

(Handwritten initials)

PP 5/15/59
BUILDING INSPECTOR, BUREAU OF BLDG. INSPECTION

NOTIFIED MR.

APPROVED: *use per plans & applications only*
CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW

DATE
REASON

FOR SINGLE FAMILY USE ONLY 2616A/12/PH2

Peter Albert
DEPARTMENT OF CITY PLANNING *MAR 29 1959*

NOTIFIED MR.

APPROVED:

DATE
REASON

BUREAU OF FIRE PREVENTION & PUBLIC SAFETY

NOTIFIED MR.

APPROVED:

SPECIAL INSPECTIONS AND TESTS
SPECIAL INSPECTIONS AND TESTS
ARE REQUIRED AS PER BUREAU OF
CODE SECTIONS 506.2, b, c.

DATE
REASON

See log #1
Peter Albert
CITY ENGINEER, BUREAU OF BLDG. INSPECTION

NOTIFIED MR.

APPROVED:

DATE
REASON

BUREAU OF ENGINEERING

NOTIFIED MR.

APPROVED:

APPROVED FOR USE, ENERGY CONSERVATION SIG.

DATE
REASON

WIKY K. GUPTA
BUREAU OF ENGINEERING

NOTIFIED MR.

APPROVED:

DATE
REASON

REDEVELOPMENT AGENCY

NOTIFIED MR.

APPROVED:

DATE
REASON

HOLDING INSPECTION DIVISION

NOTIFIED MR.

I agree to comply with all conditions or stipulations of the various departments or divisions of the City and County of San Francisco, and to accept the jurisdiction of the various departments or divisions of the City and County of San Francisco, and to accept the jurisdiction of the various departments or divisions of the City and County of San Francisco.

(Handwritten signature)
OWNER'S AUTHORIZED AGENT

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

ADDRESS TO JOB		BLOCK/LOT	APPLICATION NO.		
60	CLIFFORD	TR	2618A/021	8900073	
OWNER NAME			TELEPHONE		
MR. MORGAN MONTAGUE			7535545 664-2816		
ESTIMATED COST	FILE DATE	DISPOSITION	DISPOSITION DATE	PERMIT NO.	EXPIRE DATE
\$60,000	1/03/89	ISSUED	06/21/89	616595	06/21/90
FORM CONST TYPE	OCCUPANCY CODES	PLANS	STORIES	UNITS	DISTRICT
3 5	R-3	2	2	1	BID-INSP 17
CONTACT NAME					TELEPHONE
GELFAND ARCHITECTS					
STANDARD DESCRIPTION/BLDG USE			OTHER DESCRIPTION		
1 FAMILY DWELLING			ADD MASTER BEDRM, CONVERT (E) BEDRM TO MASTER BATH		
SPECIAL INSPECTIONS?	NO	FIRE ZONE			
SPECIAL USE DISTRICT		TIDF	NO		
		PENALTY	NO	COMPLIANCE WITH REPORTS	

NOTES:

106

PERMIT INSPECTION RECORD
DEPARTMENT OF PUBLIC WORKS
CITY AND COUNTY OF SAN FRANCISCO
BUILDING INSPECTION JOB CARD

SC03-15

2

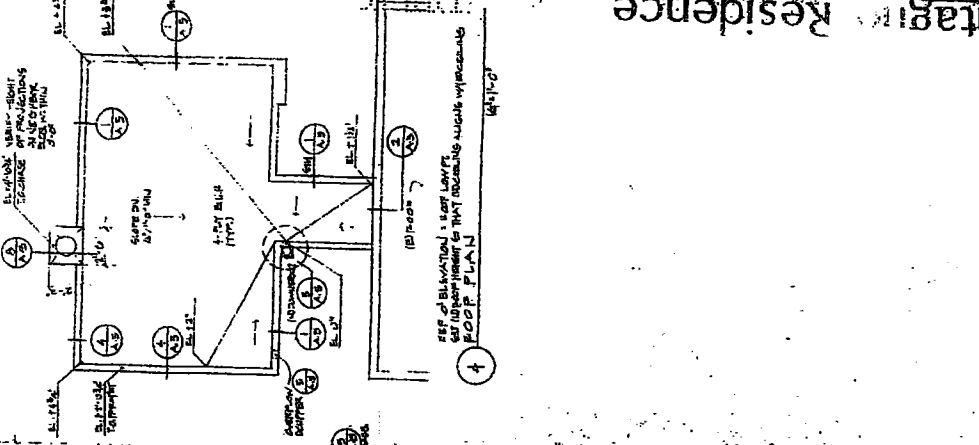
DATE	BUILDING INSPECTORS JOB RECORD
7/25/89	Started
8/30/89	OK to pour
10/2/89	OK to insulate, Framing ok
11/6/89	OK to cover slab
2/28/90	work in progress
3/7/90	Final OK - obtained S.I. #
3/27/90	Work Completed
1 - 1	
1 - 1	
1 - 1	
1 - 1	
1 - 1	
1 - 1	
1 - 1	
1 - 1	
1 - 1	
1 - 1	
1 - 1	
1 - 1	
3/17/90	Final complete
<input checked="" type="checkbox"/> WORK COMPLETED <input type="checkbox"/> FINAL CERTIFICATE POSTED.	
APP. NO.	8900073 <i>For Turner</i>
	BUILDING INSPECTOR



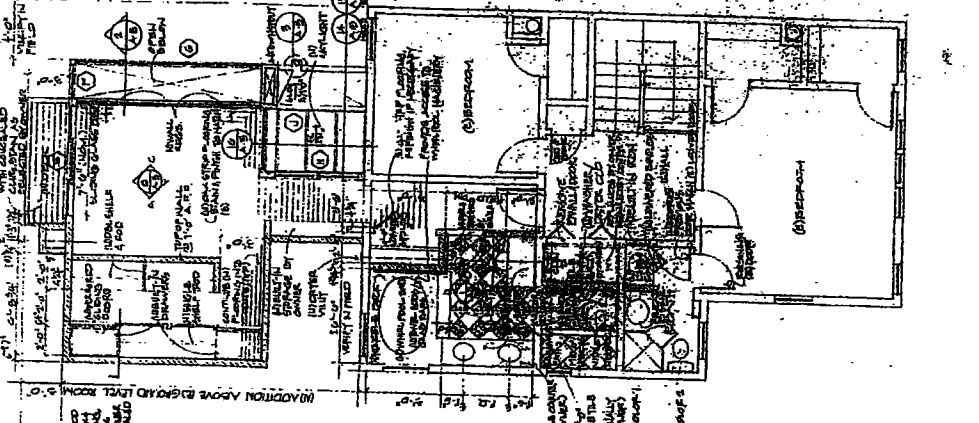
Montague Residence

General Architectural 1277 27th Avenue San Francisco, CA 94122 (415) 664-2616

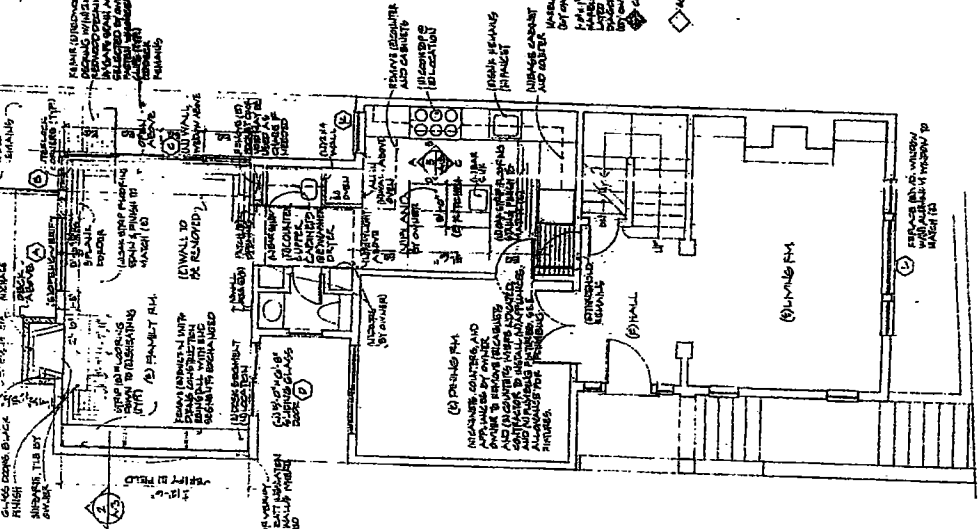
PLA 16 5/16/10



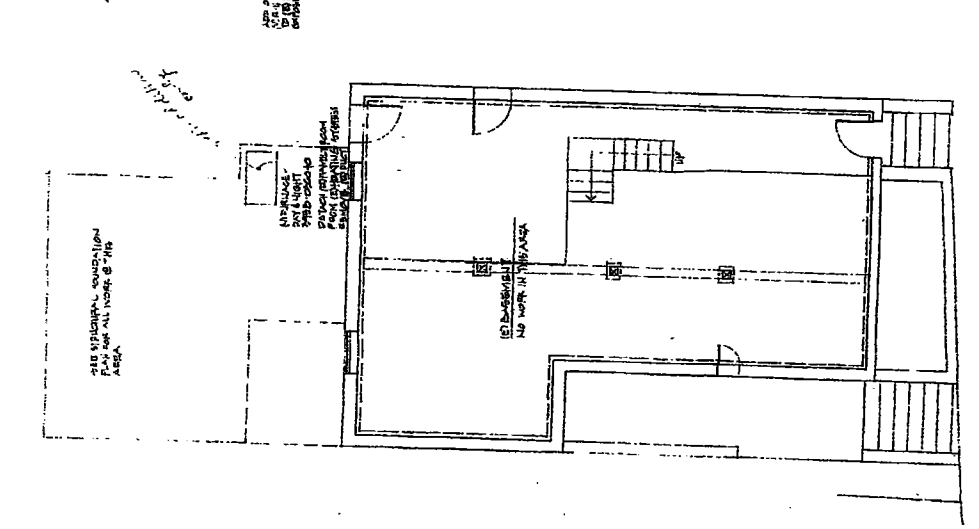
3 EXISTING SECOND FLOOR PLAN 1/10



2 EXISTING FIRST FLOOR PLAN 1/10



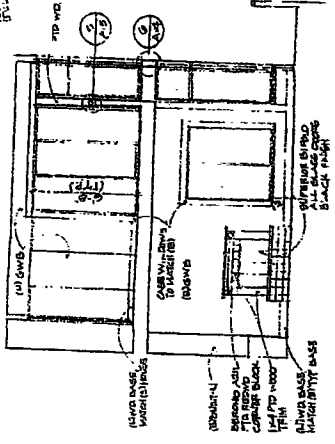
1 EXISTING FOUNDATION 1/10



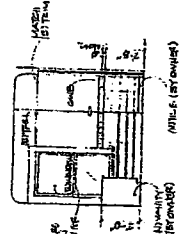
Montague Residence



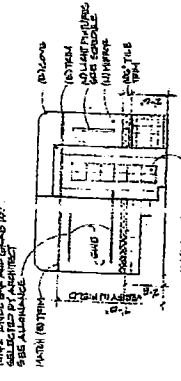
ELEVATIONS



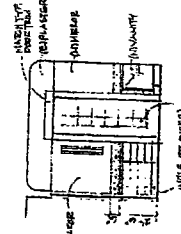
2 SECTION



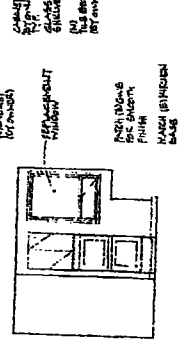
1 BATHROOM ELEVATION D



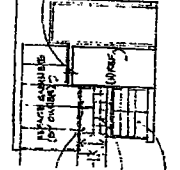
1 BATHROOM ELEVATION C



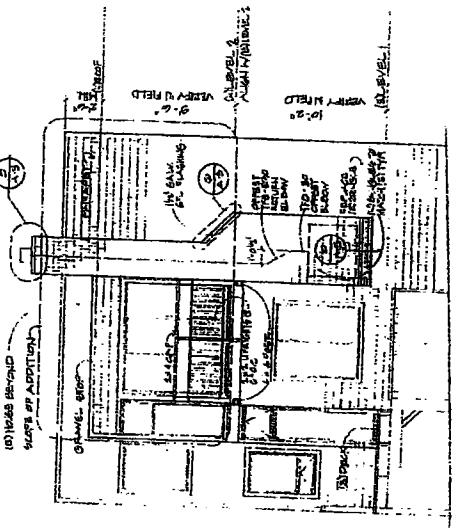
1 BATHROOM ELEVATION E



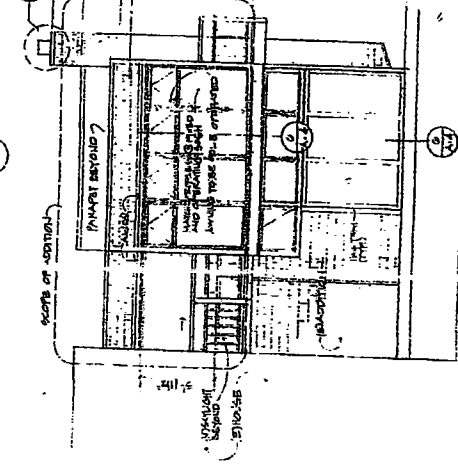
3 KITCHEN ELEVATION A



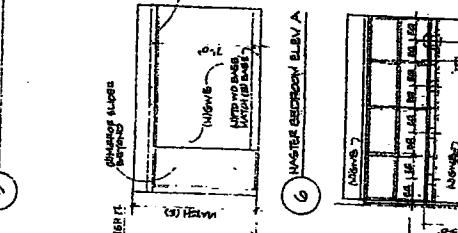
3 KITCHEN ELEVATION D



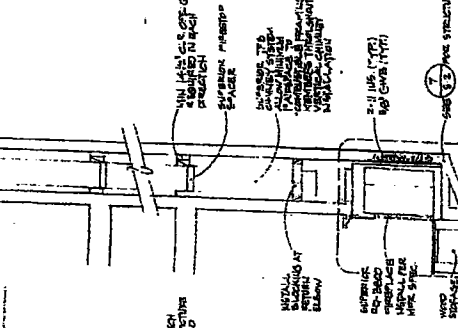
4 REAR ELEVATION NORTH



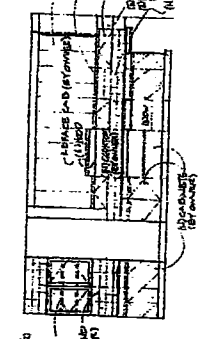
5 EAST ELEVATION



6 MASTER BEDROOM ELEV. C

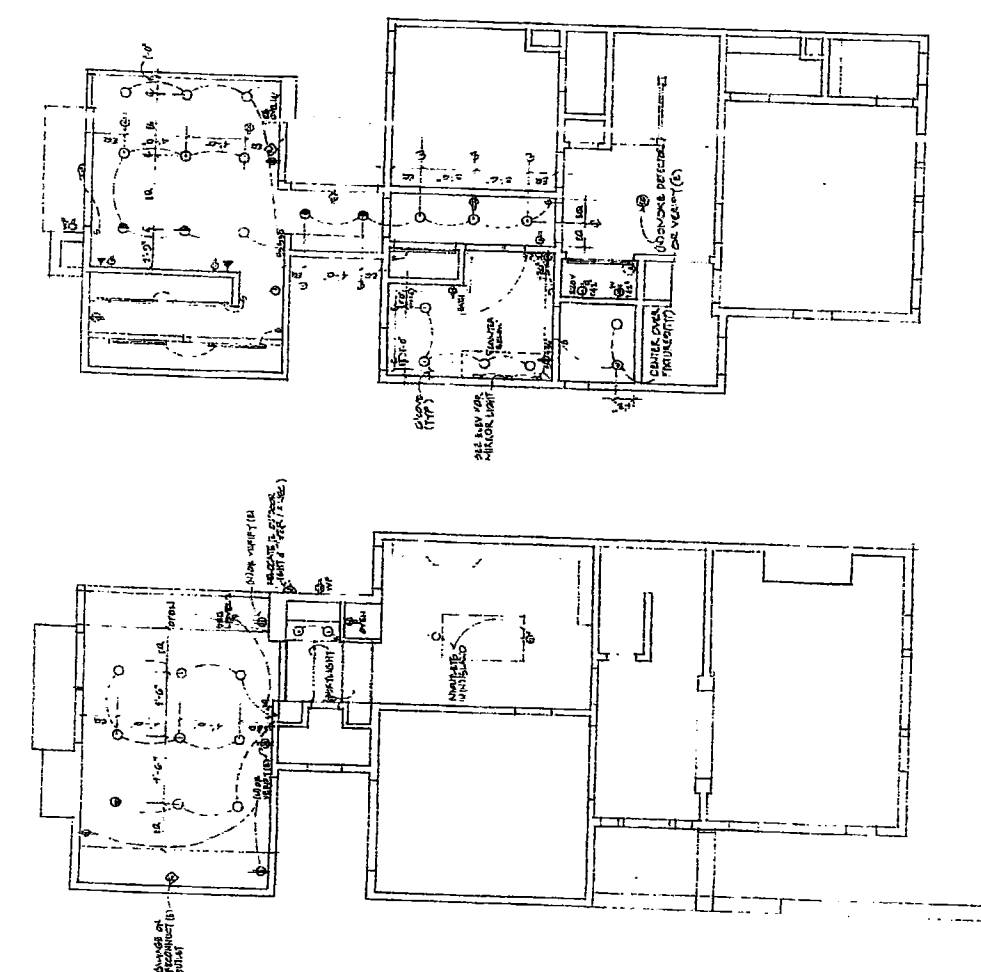


7 PIPELACE SECTION

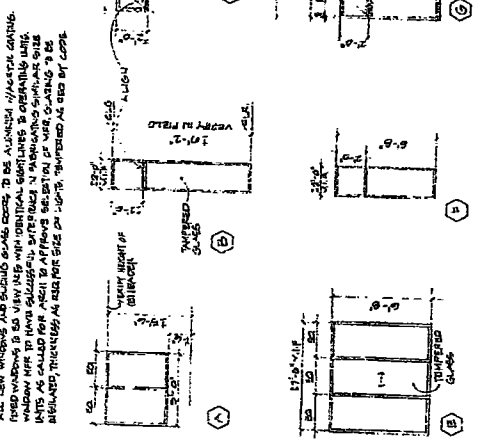


3 FITZGERALD ELEVATION B

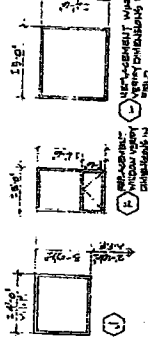
MOUNTAIN VIEW



1 PROPOSED FIRST FLOOR REFLECTED CEILING PLAN 1/8"=1'-0"



REFLECTED CEILING PLANS

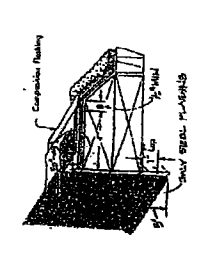


WIND DETAIL

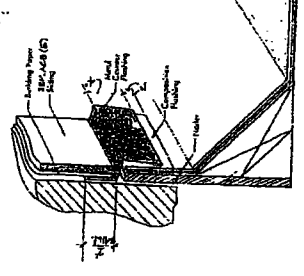
- LEGEND
- 1. REMOVE WALL
 - 2. NEW WALL
 - 3. NEW DOOR
 - 4. NEW WINDOW
 - 5. NEW WINDOW SILL
 - 6. NEW WINDOW CASE
 - 7. NEW WINDOW FRAME
 - 8. NEW WINDOW GLASS
 - 9. NEW WINDOW LINEN
 - 10. NEW WINDOW CURTAIN
 - 11. NEW WINDOW TREATMENT
 - 12. NEW WINDOW ACCESSORY
 - 13. NEW WINDOW FINISH
 - 14. NEW WINDOW TRIM
 - 15. NEW WINDOW COATING
 - 16. NEW WINDOW PAINT
 - 17. NEW WINDOW STAIN
 - 18. NEW WINDOW VARNISH
 - 19. NEW WINDOW POLISH
 - 20. NEW WINDOW CLEANING
 - 21. NEW WINDOW MAINTENANCE
 - 22. NEW WINDOW REPAIR
 - 23. NEW WINDOW REPLACEMENT
 - 24. NEW WINDOW INSTALLATION
 - 25. NEW WINDOW DEMOLITION
 - 26. NEW WINDOW CONSTRUCTION
 - 27. NEW WINDOW RENOVATION
 - 28. NEW WINDOW RESTORATION
 - 29. NEW WINDOW PRESERVATION
 - 30. NEW WINDOW PROTECTION
 - 31. NEW WINDOW INSULATION
 - 32. NEW WINDOW SEALING
 - 33. NEW WINDOW GLAZING
 - 34. NEW WINDOW GLASS
 - 35. NEW WINDOW GLASS
 - 36. NEW WINDOW GLASS
 - 37. NEW WINDOW GLASS
 - 38. NEW WINDOW GLASS
 - 39. NEW WINDOW GLASS
 - 40. NEW WINDOW GLASS



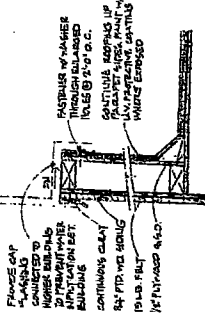
3 WINDOW DETAIL



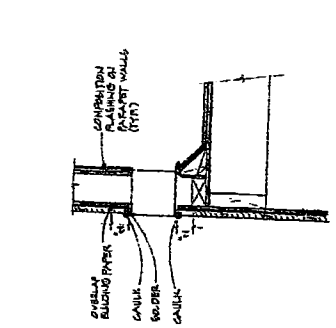
1 GRAVEL STOP
NO SCALE



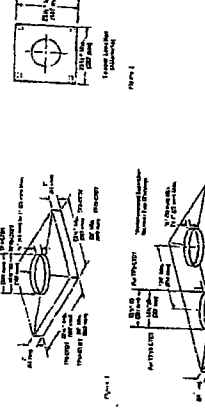
2 COUNTERFLASHING
NO SCALE



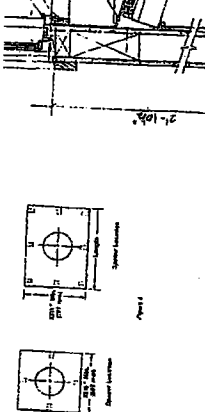
3 OVERFLOW SCUPPER
1/8" = 1'-0"



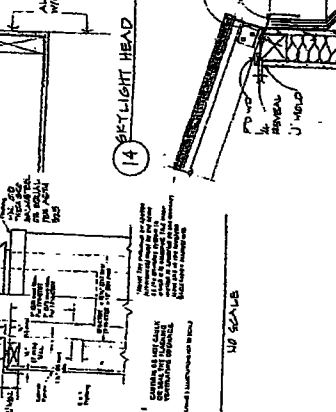
4 TYPICAL COPING AND BASE
1/8" = 1'-0"



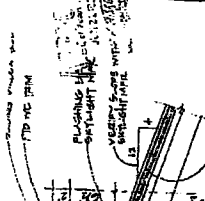
5 CHASE TERMINATION
NO SCALE



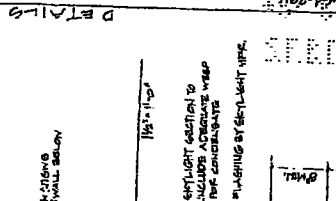
6 FLASHING AT CHASE ANGLE
1/2" = 1'-0"



7 WOOD STORAGE END
1/8" = 1'-0"



8 RAILING
1/8" = 1'-0"



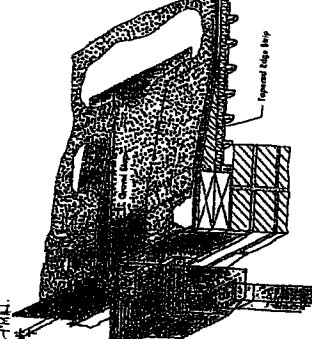
9 RAILING SUPPORT ELEVATION
1/8" = 1'-0"



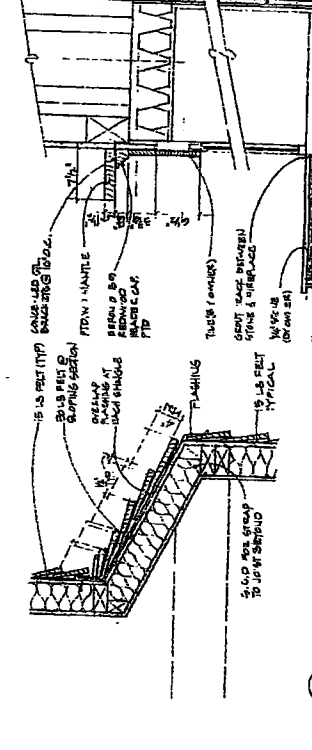
10 BASELINE SCUPPER
1/2" = 1'-0"



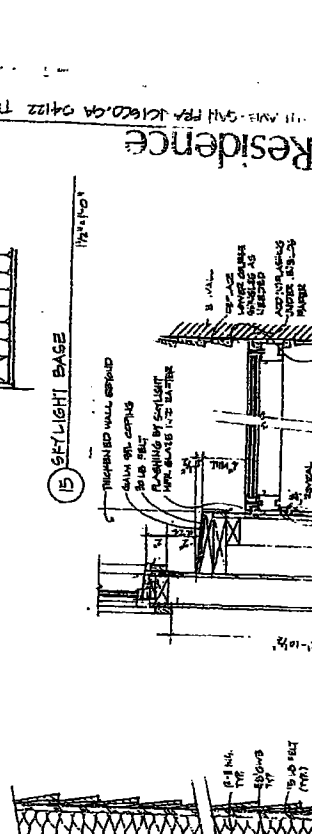
11 SKYLIGHT HEAD
1/2" = 1'-0"



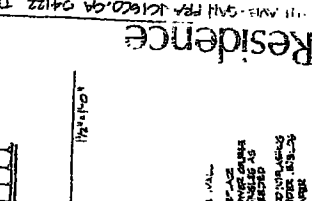
12 SKYLIGHT BASE
1/2" = 1'-0"



13 SKYLIGHT SECTION
1/2" = 1'-0"



14 SEPARATION SECTION
1/2" = 1'-0"



15 SKYLIGHT BASE
1/2" = 1'-0"



16 SKYLIGHT SECTION
1/2" = 1'-0"

MONTAGUE ARCHITECTS
111 MOUNTAIN VIEW AVENUE
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V4R 1A4
TEL: 604-272-4555
WWW.MONTAGUE-ARCHITECTS.COM

Montague Architects
111 Mountain View Ave
South British Columbia
V4R 1A4
Tel: 604-272-4555

1. General notes apply equally to all drawings.
2. Contractor shall obtain all field measurements required for the structure foundation and...
3. Contractor shall also furnish or obtain...
4. Allowances shown to face of finish unless otherwise noted.

5. Do not make drawings.
6. Contractor shall see to it that the structure is built in accordance with the drawings...
7. The contractor shall be responsible for the foundation...
8. The contractor shall be responsible for the foundation...
9. The contractor shall be responsible for the foundation...

10. The contractor shall be responsible for the foundation...
11. The contractor shall be responsible for the foundation...
12. The contractor shall be responsible for the foundation...
13. The contractor shall be responsible for the foundation...
14. The contractor shall be responsible for the foundation...

15. The contractor shall be responsible for the foundation...
16. The contractor shall be responsible for the foundation...
17. The contractor shall be responsible for the foundation...
18. The contractor shall be responsible for the foundation...
19. The contractor shall be responsible for the foundation...

20. The contractor shall be responsible for the foundation...
21. The contractor shall be responsible for the foundation...
22. The contractor shall be responsible for the foundation...
23. The contractor shall be responsible for the foundation...
24. The contractor shall be responsible for the foundation...

25. The contractor shall be responsible for the foundation...
26. The contractor shall be responsible for the foundation...
27. The contractor shall be responsible for the foundation...
28. The contractor shall be responsible for the foundation...
29. The contractor shall be responsible for the foundation...

Section 0210 - Built-up Blushless Roofing
1. Provide built-up blushless roofing on all exterior walls and roof surfaces...
2. Roofing shall be applied in accordance with the manufacturer's instructions...
3. The contractor shall be responsible for the foundation...

Section 0220 - Flashing and Seal Coat
1. Flashing shall be installed in accordance with the manufacturer's instructions...
2. Seal coat shall be applied over the flashing...
3. The contractor shall be responsible for the foundation...

Section 0230 - Siding and Shingles
1. Siding shall be installed in accordance with the manufacturer's instructions...
2. Shingles shall be installed in accordance with the manufacturer's instructions...
3. The contractor shall be responsible for the foundation...

Section 0240 - Windows and Doors
1. Windows and doors shall be installed in accordance with the manufacturer's instructions...
2. The contractor shall be responsible for the foundation...
3. The contractor shall be responsible for the foundation...

Section 0250 - Finishes
1. Finishes shall be installed in accordance with the manufacturer's instructions...
2. The contractor shall be responsible for the foundation...
3. The contractor shall be responsible for the foundation...

Section 0260 - Insulation
1. Insulation shall be installed in accordance with the manufacturer's instructions...
2. The contractor shall be responsible for the foundation...
3. The contractor shall be responsible for the foundation...

Section 0310 - Electrical
1. Electrical work shall be installed in accordance with the National Electrical Code...
2. The contractor shall be responsible for the foundation...

Section 0320 - Plumbing
1. Plumbing work shall be installed in accordance with the Uniform Plumbing Code...
2. The contractor shall be responsible for the foundation...

Section 0330 - Heating and Cooling
1. Heating and cooling systems shall be installed in accordance with the manufacturer's instructions...
2. The contractor shall be responsible for the foundation...

Section 0340 - Painting
1. Painting shall be installed in accordance with the manufacturer's instructions...
2. The contractor shall be responsible for the foundation...

Section 0350 - Miscellaneous
1. Miscellaneous work shall be installed in accordance with the manufacturer's instructions...
2. The contractor shall be responsible for the foundation...

Section 0360 - Other
1. Other work shall be installed in accordance with the manufacturer's instructions...
2. The contractor shall be responsible for the foundation...

GENERAL NOTES
1. The contractor shall be responsible for the foundation...
2. The contractor shall be responsible for the foundation...

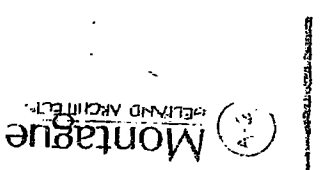
Section 0410 - Foundation
1. Foundation work shall be installed in accordance with the manufacturer's instructions...
2. The contractor shall be responsible for the foundation...

Section 0420 - Structural Steel
1. Structural steel work shall be installed in accordance with the manufacturer's instructions...
2. The contractor shall be responsible for the foundation...

Section 0430 - Masonry
1. Masonry work shall be installed in accordance with the manufacturer's instructions...
2. The contractor shall be responsible for the foundation...

Section 0440 - Concrete
1. Concrete work shall be installed in accordance with the manufacturer's instructions...
2. The contractor shall be responsible for the foundation...

Section 0450 - Other
1. Other work shall be installed in accordance with the manufacturer's instructions...
2. The contractor shall be responsible for the foundation...



Montague Residence
RELAND ARCHITECTS
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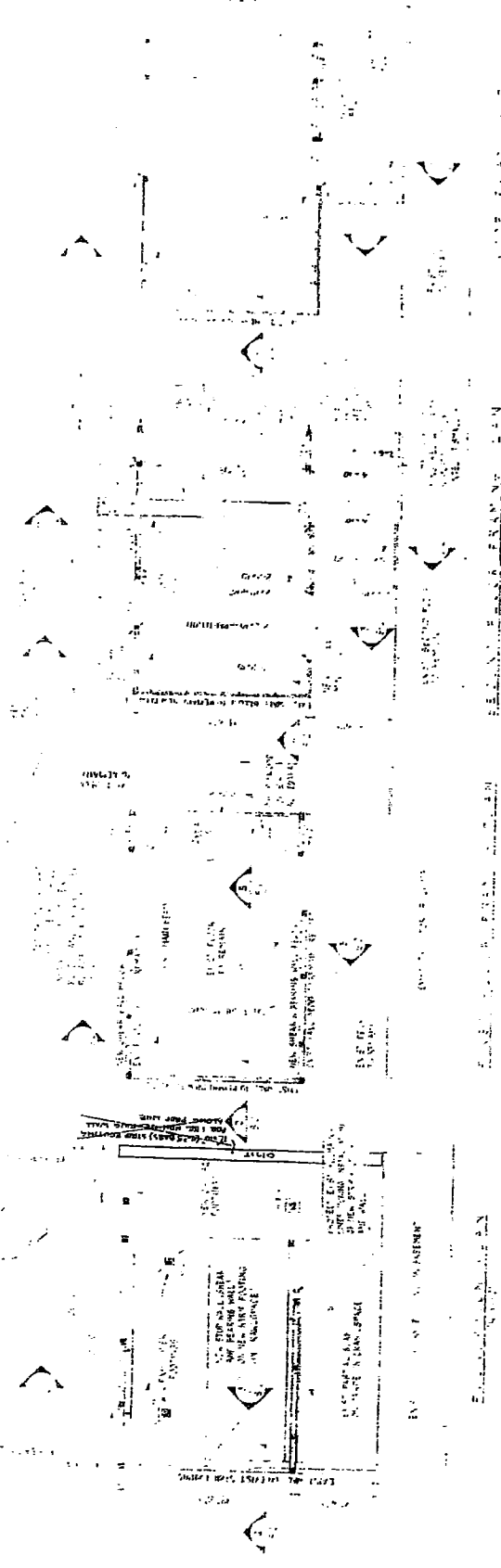
GENERAL NOTES
1. The contractor shall be responsible for the foundation...
2. The contractor shall be responsible for the foundation...

Section 0510 - Roofing
1. Roofing work shall be installed in accordance with the manufacturer's instructions...
2. The contractor shall be responsible for the foundation...

Section 0520 - Siding
1. Siding work shall be installed in accordance with the manufacturer's instructions...
2. The contractor shall be responsible for the foundation...

Section 0530 - Windows and Doors
1. Windows and doors shall be installed in accordance with the manufacturer's instructions...
2. The contractor shall be responsible for the foundation...

Section 0540 - Finishes
1. Finishes shall be installed in accordance with the manufacturer's instructions...
2. The contractor shall be responsible for the foundation...



SPECIAL INSTRUCTIONS FOR THE
CONTRACTOR
1. See Special Instructions to the Contractor
and the Plans, etc.

1. GENERAL
2. FOUNDATION
3. CONCRETE
4. MASONRY
5. STEEL
6. ROOFING
7. INTERIORS
8. EXTERIORS
9. FINISHES
10. ELECTRICAL
11. MECHANICAL
12. PLUMBING
13. PAINTING
14. GLASS
15. MISCELLANEOUS

1. GENERAL
2. FOUNDATION
3. CONCRETE
4. MASONRY
5. STEEL
6. ROOFING
7. INTERIORS
8. EXTERIORS
9. FINISHES
10. ELECTRICAL
11. MECHANICAL
12. PLUMBING
13. PAINTING
14. GLASS
15. MISCELLANEOUS

1. GENERAL
2. FOUNDATION
3. CONCRETE
4. MASONRY
5. STEEL
6. ROOFING
7. INTERIORS
8. EXTERIORS
9. FINISHES
10. ELECTRICAL
11. MECHANICAL
12. PLUMBING
13. PAINTING
14. GLASS
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1. GENERAL
2. FOUNDATION
3. CONCRETE
4. MASONRY
5. STEEL
6. ROOFING
7. INTERIORS
8. EXTERIORS
9. FINISHES
10. ELECTRICAL
11. MECHANICAL
12. PLUMBING
13. PAINTING
14. GLASS
15. MISCELLANEOUS



EXHIBIT "D"